



CHEROKEE COUNTY BOARD OF COMMISSIONERS
Purchasing Department
1130 Bluffs Pkwy, Canton, GA 30114
Ph: 678-493-6000 | Fax: 678-493-6035

ADDENDUM FIVE

Solicitation Number: 2024-023
Solicitation Name: New Construction, Cherokee County EMS Station #30
Addendum Release Date: April 15, 2024

Prime Bidders/Proposers acknowledge the receipt of this Addendum by inserting the number and date in the appropriate position on the Proposal Form. Failure to do so may subject the Bidder/Proposer to disqualification. This Addendum is a part of the Contract Documents. It modifies them as follows:

Item No. 1

Sheet T1.1

Replace the Title Sheet in its entirety (see attachments).

Item No. 2

Civil Clarification

See attached sketch clarifying intended FDC placement (see attachments).

Item No. 3

Sheets A1.1 and A4.3

Replace these Architectural sheets in their entirety (see attachments).

Item No. 4

Sheet A4.4

Add this sheet in its entirety (see attachments).

Item No. 5

Sheets M1.1, P1.1, and E4.0

Replace these MEP sheets in their entirety (see attachments).

Item No. 6

Requests for Substitution

The products listed below will be considered acceptable pending compliance with all requirements of the Contract Documents.

Exhaust Fans – Equal products by Twin City Fans.

****END****

ADDITIONS & RENOVATIONS TO: CHEROKEE COUNTY EMS STATION #30

2017 E. CHEROKEE DRIVE
WOODSTOCK, GA 30188

INDEX OF DRAWINGS

T1.1	TITLE SHEET, BUILDING INFORMATION	S0.1	GENERAL NOTES
C1	SURVEY	S0.2	GENERAL NOTES
C1.1	DEMOLITION PLAN	S0.3	GENERAL NOTES
C2	SITE PLAN	S1.0	DEMOLITION PLAN
C2.1	PROJECT NOTES	S1.1	FOUNDATION PLAN
C3	GRADING PLAN	S2.1	ROOF FRAMING PLAN
C3.1	POND DETAILS	S3.1	SECTIONS & DETAILS
C4	UTILITY PLAN	S3.2	SECTIONS & DETAILS
C5	PROFILES	S3.3	SECTIONS & DETAILS
C6	EROSION CONTROL CHECKLIST	S4.1	TYPICAL SECTIONS & DETAILS
C6.1	EROSION CONTROL NOTES	S4.2	TYPICAL SECTIONS & DETAILS
C6.2	EROSION CONTROL NOTES	M0.1	HVAC SCHEDULES, LEGEND & NOTES
C6.3	EROSION CONTROL INITIAL PHASE	M0.2	HVAC SCHEDULES & DETAILS
C6.4	EROSION CONTROL INTERMEDIATE PHASE	M0.3	HVAC DETAILS
C6.5	EROSION CONTROL FINAL PHASE	M1.1	HVAC PLANS
C6.5.1	LANDSCAPING PLAN	P0.1	PLUMBING SCHEDULES, LEGEND & NOTES
C6.6	EROSION CONTROL DETAILS	P0.2	PLUMBING DETAILS
C6.7	EROSION CONTROL DETAILS	P1.1	SANITARY WASTE & VENT PLAN
C6.8	EROSION CONTROL DETAILS	P1.2	DOMESTIC WATER PIPING PLAN
C7	CONSTRUCTION DETAILS	P1.3	NATURAL GAS PIPING PLAN
C7.1	CONSTRUCTION DETAILS	E1.0	ELECTRICAL NOTES, LEGEND & SPECIFICATIONS
C7.2	CONSTRUCTION DETAILS	E2.0	ELECTRICAL DETAILS
C7.3	CONSTRUCTION DETAILS	E3.0	ELECTRICAL LIGHTING PLAN
C7.4	CONSTRUCTION DETAILS	E4.0	ELECTRICAL POWER PLAN
A0.1	LIFE SAFETY PLAN	E5.0	MECHANICAL SYSTEMS PLAN
A0.2	U.L. DETAILS	E6.0	ELECTRICAL SYSTEMS PLAN
A0.3	U.L. DETAILS	E7.0	ELECTRICAL SCHEDULES
A1.0	DEMOLITION PLAN	E8.0	ELECTRICAL SITE PLAN
A1.1	NEW FLOOR PLAN	E9.0	SITE PHOTOMETRIC PLAN
A1.2	REFLECTED CEILING PLAN		
A1.3	ROOF & CRAWLSPACE PLANS		
A1.4	DIMENSION PLAN		
A1.5	EQUIPMENT & FURNISHINGS PLAN		
A2.1	ELEVATIONS		
A3.1	BUILDING SECTION, ENCLOSURE ELEVATIONS & DETAILS		
A4.1	WALL SECTIONS AND DETAILS		
A4.2	WALL SECTIONS AND DETAILS		
A4.3	WALL SECTIONS AND DETAILS		
A4.4	WALL SECTIONS AND DETAILS		
A5.1	DOOR & WINDOW ELEVATIONS, SCHEDULE & DETAILS		
A5.2	FINISH SCHEDULE, DETAILS & INTERIOR ELEVATIONS		
A5.3	MILLWORK ELEVATIONS & DETAILS		
A5.4	MILLWORK SECTIONS		
A6.1	INTERIOR SIGNAGE		

FIRE MARSHAL & ENGINEERING NOTES

THE FOLLOWING PLANS HAVE BEEN REVIEWED BY THE CHEROKEE COUNTY FIRE MARSHAL'S OFFICE. THE DRAWINGS WERE REVIEWED UNDER THE APPLICABLE LAWS ADOPTED AT THE TIME. EVERY EFFORT WAS MADE TO ENSURE CODE COMPLIANCE. ANY CODE VIOLATIONS THAT WERE MISSED DURING THE PLAN REVIEW ARE THE OWNER'S RESPONSIBILITY AND MUST BE CORRECTED TO RECEIVE FINAL APPROVAL AND/OR A CERTIFICATE OF OCCUPANCY (CO).

A PRE-CONSTRUCTION MEETING, 50%, 80% AND 100% INSPECTIONS ARE REQUIRED UNLESS AT THE PRE-CONSTRUCTION MEETING IT IS DETERMINED THAT ALL INSPECTIONS ARE NOT REQUIRED.

ALL FIRE INSPECTIONS ARE SCHEDULED THROUGH THE CITYVIEW PORTAL UNDER THE SAME PERMIT NUMBER AS THE BUILDING PERMIT. THIS MUST BE DONE BY THE CONTRACTOR.

FIRE ALARM PLANS MUST BE SUBMITTED SEPARATELY THROUGH A FIRE PREVENTION PERMIT BY CONTRACTOR. FIRE ALARM IS SHOWN AS REFERENCE ONLY ON THE ELECTRICAL PLANS.

THE EXIT SIGNS AND EMERGENCY LIGHTS SHALL BE ON THE SAME CIRCUIT AS THE AREA FEEDING THE LIGHTING FOR THAT AREA. 2020 NFPA 70, SECTION 700.12 F (2) (3), THE BRANCH CIRCUIT FEEDING THE UNIT EQUIPMENT SHALL BE THE SAME BRANCH CIRCUIT AS THAT SERVING THE NORMAL LIGHTING IN THE AREA AND CONNECTED AHEAD OF ANY LOCAL SWITCHES.

SIGNAGE SHALL BE REVIEWED AND PERMITTED SEPARATELY.

THE PROPOSED USE AND DEVELOPMENT OF THE SUBJECT SITE SHALL COMPLY WITH THE REQUIREMENTS OF THE CHEROKEE COUNTY ZONING ORDINANCE.

BUILDING INFORMATION

OWNER:	CHEROKEE COUNTY BOARD OF COMMISSIONERS 1130 BLUFFS PARKWAY CANTON, GA. 30114
CONSTRUCTION TYPES:	IBC - IIB (NEW), VB (EXISTING)
OCCUPANCY TYPE:	MIXED USE - STORAGE (S-1) & RESIDENTIAL (R-2) (LSC - CHAPTERS 26 AND 38)
NUMBER OF STORIES:	ONE
BUILDING SPRINKLERED:	YES
BUILDING SQUARE FOOTAGE:	5,928 S.F. TOTAL 2,723 S.F. NEW 3,205 S.F. EXISTING
CITYVIEW NUMBER:	PR20240001089
TAX ID NUMBER:	15N16 118
PROPERTY ID NUMBER:	15-0739-0006
ZONING CLASSIFICATION:	R-40

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF KRH ARCHITECTS AND HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THE CHEROKEE COUNTY BOARD OF COMMISSIONERS. THE USE OR REPRODUCTION IN ANY FORM OF THESE CONTRACT DOCUMENTS WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT IS PROHIBITED.

COPYRIGHT 2024 ©

CODE INFORMATION

ALL WORK IN RENOVATED AREAS SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES:

2018 LIFE SAFETY CODE (LSC) - INCLUDING THE GA 120-3-3 RULES & REGULATIONS OF THE STATE FIRE COMMISSIONER

2018 INTERNATIONAL BUILDING CODE (IBC) - 2020 GEORGIA AMENDMENTS

2018 INTERNATIONAL FIRE CODE (IFC) WITH CURENT GEORGIA AMENDMENTS

2018 INTERNATIONAL MECHANICAL CODE (IMC) - 2020 GEORGIA AMENDMENTS

2018 INTERNATIONAL PLUMBING CODE (IPC) - 2020 GEORGIA AMENDMENTS

2018 INTERNATIONAL FUEL GAS CODE - 2020 GEORGIA AMENDMENTS

2020 NATIONAL ELECTRIC CODE (NEC) WITH CURRENT GEORGIA AMENDMENTS

2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) - 2020 GEORGIA AMENDMENTS

2010 A.D.A. STANDARDS FOR ACCESSIBLE DESIGN - INCLUDING GA. ACCESSIBILITY STANDARDS 120-3-20

ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REGULATIONS



ARCHITECTURAL

KRH ARCHITECTS, INC.
855 ABUTMENT RD., STE. 4
DALTON, GA 30721
TEL. 706.529.5895

CIVIL

PWH ENGINEERING
2900 DELK ROAD
SUITE 700 #318
MARIETTA, GA 30067
TEL. 770.433.8190

STRUCTURAL

WILLIAM J. PELTIER
& ASSOCIATES, INC.
270 LANGLEY DRIVE
LAWRENCEVILLE, GA 30046
TEL. 770.963.0654

MECHANICAL

JORDAN MEP
1687 TEXAS VALLEY RD. NW
ROME, GA 30165
TEL. 678.800.4664

ELECTRICAL

LUNDY ENGINEERING
GROUP
229 LAND ROAD
WALESKA, GA 30183
TEL. 678.634.6941

PROJECT NUMBER

23-017

FACILITY CODE

N/A

DRAWING REVISIONS

NO.	TYPE	DATE
	ADDENDUM #5	04/15/24

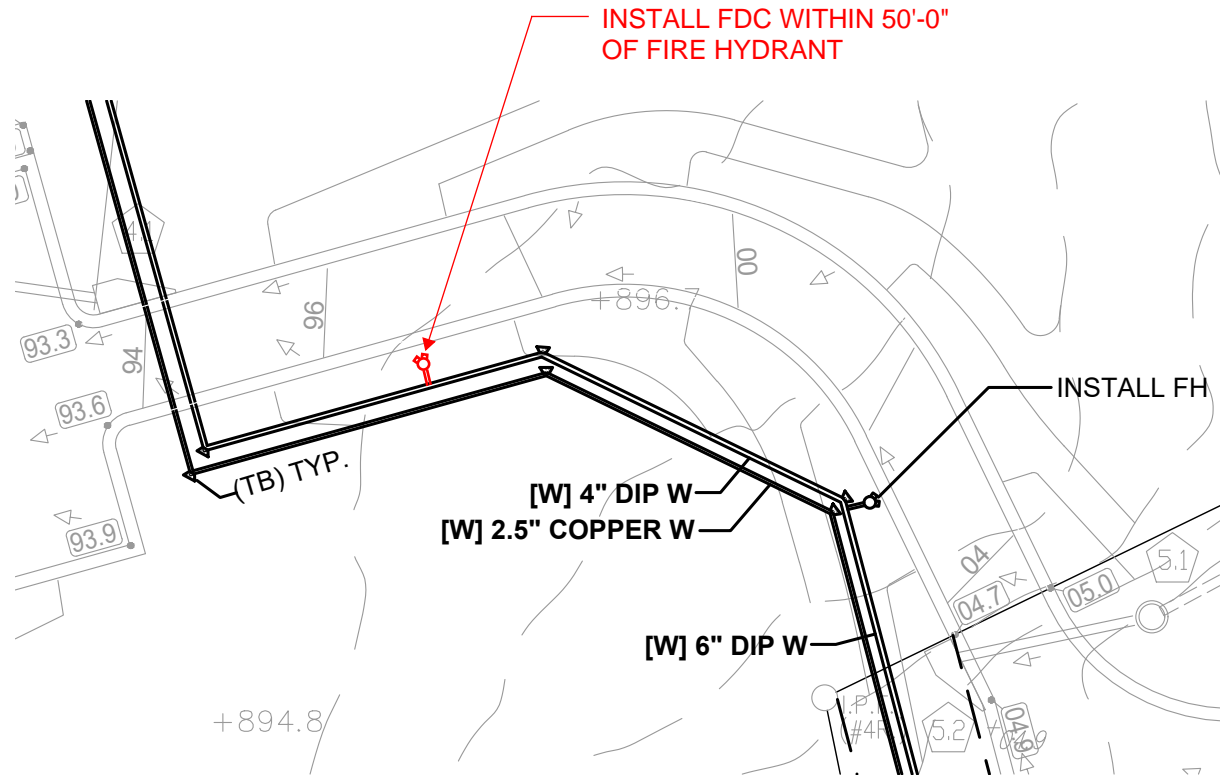
- PRELIMINARY REVIEW
- CHECKSET REVIEW
- FINAL SET REVIEW
- FOR CONSTRUCTION

DATE

03/13/24

SHEET INDEX

T1.1



**SHEET C4 UTILITY PLAN
ADDENDUM #5
FDC CLARIFICATION
04/15/24**

GENERAL RENOVATION NOTES:

*ALL EXTERIOR SURFACES SHALL BE THOROUGHLY CLEANED BY THE CONTRACTOR UPON COMPLETION OF THE PROJECT.

*PENETRATIONS IN THE ROOFING, CEMENTITIOUS SIDING, MASONRY VENEER, ETC. EXPOSED BY THE REMOVAL OF DEMOLISHED ITEMS SHALL BE PATCHED WITH MATERIALS TO MATCH.

*MASONRY VENEER SHALL BE REPAIRED AT ALL AREAS NOTED PER THESE DOCUMENTS BUT CONTRACTOR SHALL ALSO ALLOW FOR FIFTY (100) SQUARE FEET OF NEW MASONRY VENEER REPAIR/INSTALLATION TO COVER ANY UNFORESEEN NEEDS.

*SEE SHEET A4.2 FOR CASEWORK ELEVATIONS AND SHEET A4.3 FOR TYPICAL CASEWORK SECTIONS.

KEYED RENOVATION NOTES:

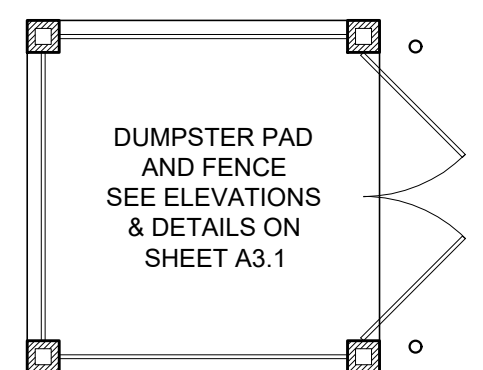
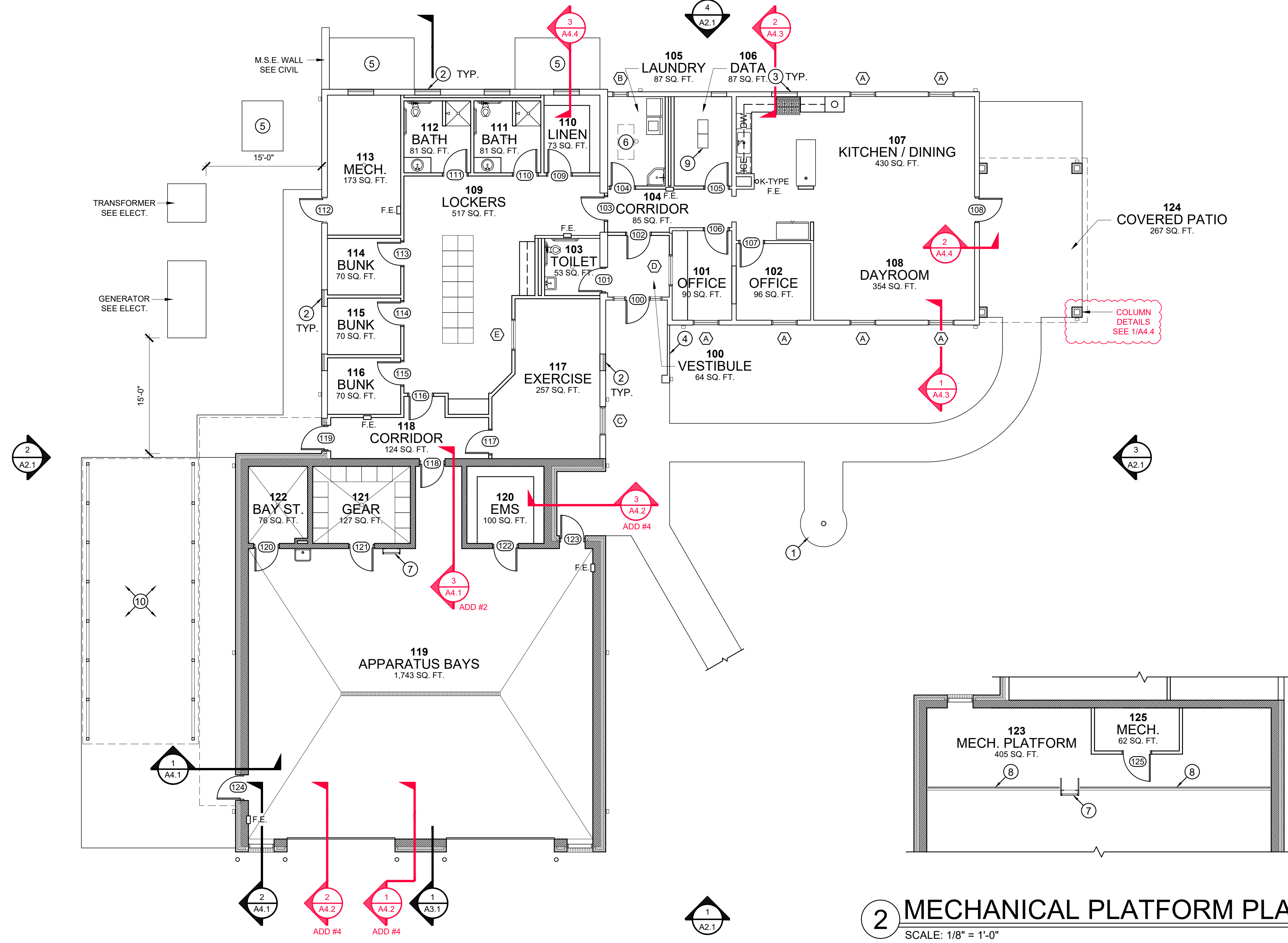
1. NEW FLAGPOLE AND ACCESSORIES. SEE SPECIFICATIONS. SEE ELECTRICAL FOR LIGHTING REQUIREMENTS. MOUNT FLAGPOLE IN NEW 3'-0" RADIUS CONCRETE SIDEWALK AS SHOWN. SEE CIVIL FOR SIDEWALK DETAILS.
2. INFILL VOID FROM REMOVED ITEMS WITH NEW MASONRY VENEER AND MORTAR TO MATCH EXISTING. REPAIR AND REPOINT SURROUNDING VENEER AS REQUIRED TO "TOOTH IN" NEW MASONRY ITEMS.
3. INFILL VOID FROM REMOVED ITEMS WITH NEW FRAMING, INSULATION AND CEMENTITIOUS SIDING TO MATCH EXISTING. REPAIR SURROUNDING VENEER AS REQUIRED TO "LAP IN" NEW SIDING. PREPARE ALL SURFACES FOR NEW PAINT.
4. EXISTING DECORATIVE BRICK ENTRY DETAILS TO REMAIN. REPAIR AND REPOINT MASONRY IN THIS LOCATION AS REQUIRED.
5. NEW POURED CONCRETE MECHANICAL PADS, SLOPE TO DRAIN AWAY FROM BUILDING. SEE DIMENSIONS AND VERIFY SIZES AND SLOPES WITH MECHANICAL REQUIREMENTS.
6. EXISTING ATTIC ACCESS LADDER TO REMAIN ABOVE. CLEAN, MAINTAIN, AND ADJUST AS NECESSARY. REPAINT ACCESS DOOR TO MATCH NEW FINISHES.

KEYED RENOVATION NOTES (CONTINUED):

7. HEAVY DUTY ALUMINUM TUBULAR FIXED LADDER WITH WALK-THRU EQUAL TO PRECISION LADDERS, LLC. MODEL# FLH-04. BOLT SECURELY TO WALL IN LOCATION SHOWN. COORDINATE OPENING FOR LADDER WITH SAFETY RAILING SYSTEM ON MECHANICAL PLATFORM ABOVE.
8. STEEL SAFETY RAILING SYSTEM, SAFETY YELLOW, EQUAL TO GLOBAL INDUSTRIAL, KEE SAFETY, KWIK SS RAILING SYSTEM. PROVIDE ALL COMPONENTS NECESSARY FOR A COMPLETE AND FUNCTIONAL SYSTEM. SECURE RAILING SYSTEM BOOTS TO PLATFORM SLAB. COORDINATE INSTALLATION WITH ACCESS LADDER.
9. APPROXIMATE LAYOUT OF LOW VOLTAGE RACKS AND EQUIPMENT AND REQUIRED CLEARANCES. SEE SPECIFICATIONS AND ELECTRICAL FOR FURTHER INFORMATION.
10. STEEL COVERED BAY EQUAL TO 14'-0" WIDE X 36'-0" LONG X 12'-0" TALL LEG HEIGHT WITH 15'-2" PEAK HEIGHT UNIT BY GA PORTABLE BUILDINGS WITH 3" STEEL SIDE PANELS AT TOP. FRAMING SHALL BE 12 GAUGE. PANELS SHALL BE 26 GAUGE. SYSTEM SHALL BE CERTIFIED FOR 180 MPH LOAD. PROVIDE CONCRETE ANCHORS AT EACH CORNER AND EVERY 4'-0" O.C. MAX. AND FASTEN TO SLAB. PROVIDE COLOR MATCHED SCREWS FOR ALL PANELS. OWNER SHALL CHOOSE FROM MANUFACTURER'S FULL RANGE OF COLORS.

PLAN LEGEND

- (100) - DOOR NUMBER TAG
- (A) - NEW WINDOW TYPE TAG
- TYPICAL WINDOW
- EXISTING STUD WALL WITH NEW 5/8" GYP BOARD TO REPLACE DEMOLISHED WOOD PANELING AND TRIM.
- NEW CMU WALL AND MASONRY VENEER. SEE PLANS AND DETAILS FOR FURTHER INFORMATION.
- NEW 5/8" GYP BD. AND 3-5/8" WOOD STUD PARTITION TO EXTEND TO BOTTOM OF EXISTING TRUSS UNLESS NOTED OTHERWISE. SEE PLANS AND DETAILS FOR FURTHER INFORMATION.
- F.E. - FIRE EXTINGUISHER AND CABINET



2 MECHANICAL PLATFORM PLAN
SCALE: 1/8" = 1'-0"

REVISIONS	
NO.	DATE
ADDENDUM #2	03/21/24
ADDENDUM #4	04/12/24
ADDENDUM #5	04/15/24

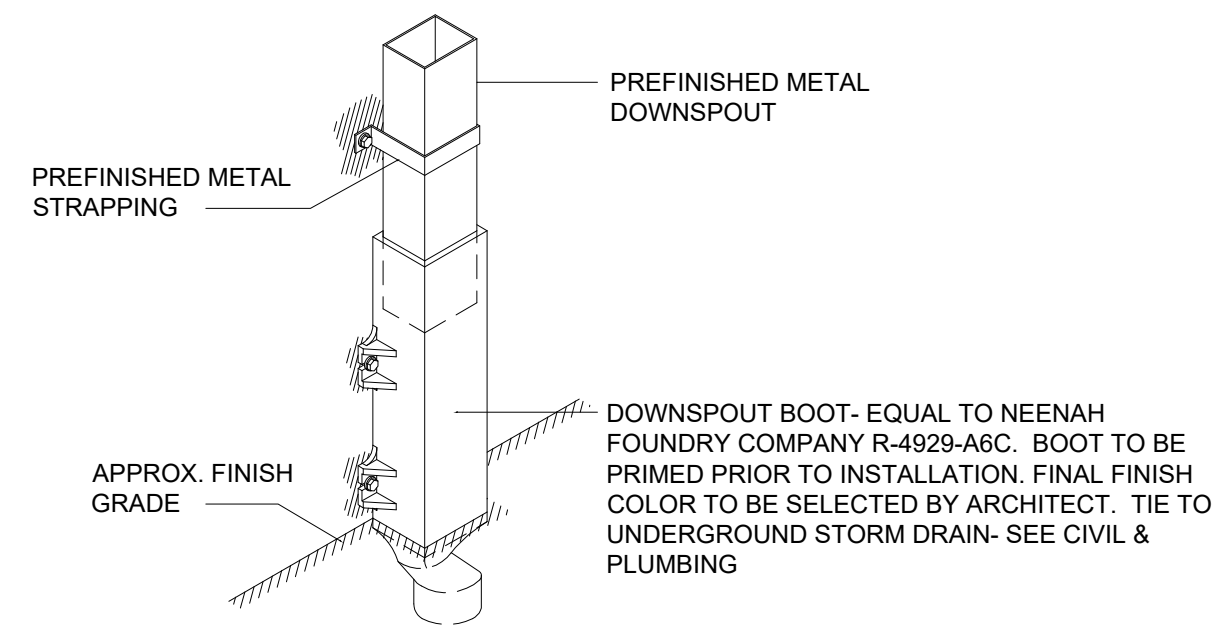


ADDITIONS & RENOVATIONS TO:
EMS STATION #30
2017 E. CHEROKEE DRIVE, WOODSTOCK GA 30188
CHEROKEE COUNTY BOARD OF COMMISSIONERS



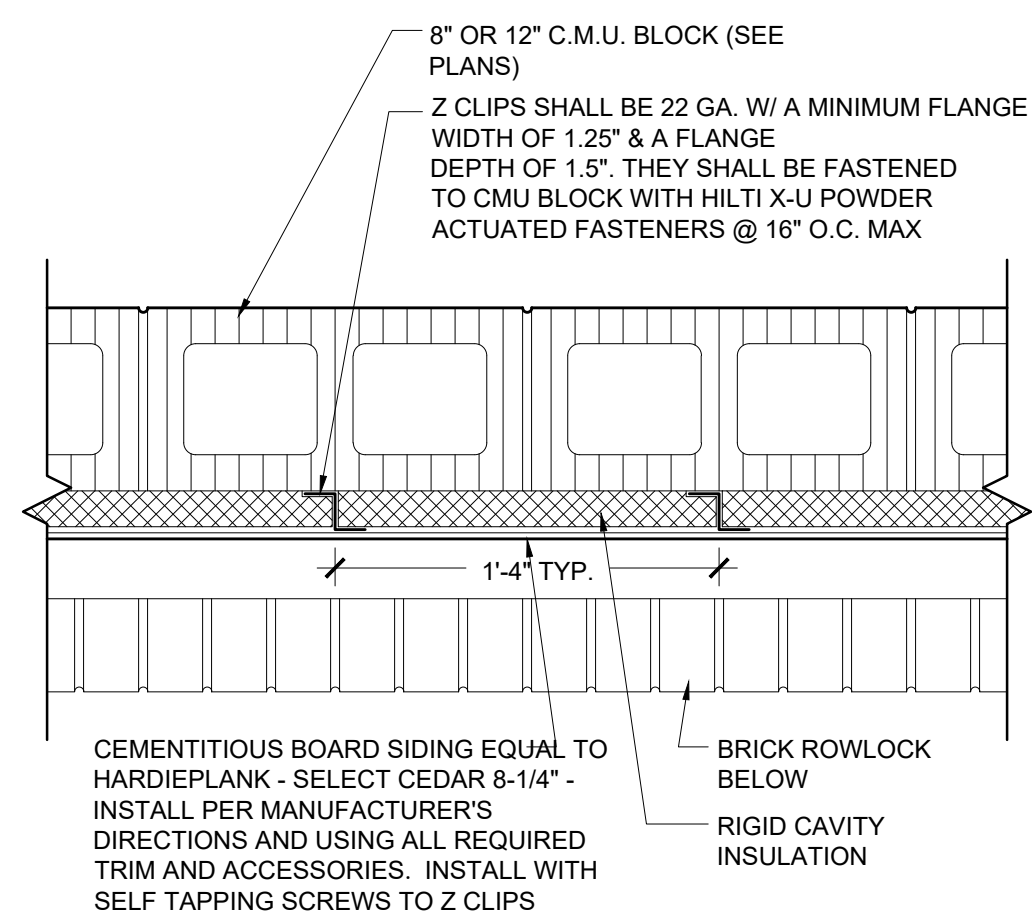
THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED.

THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED.



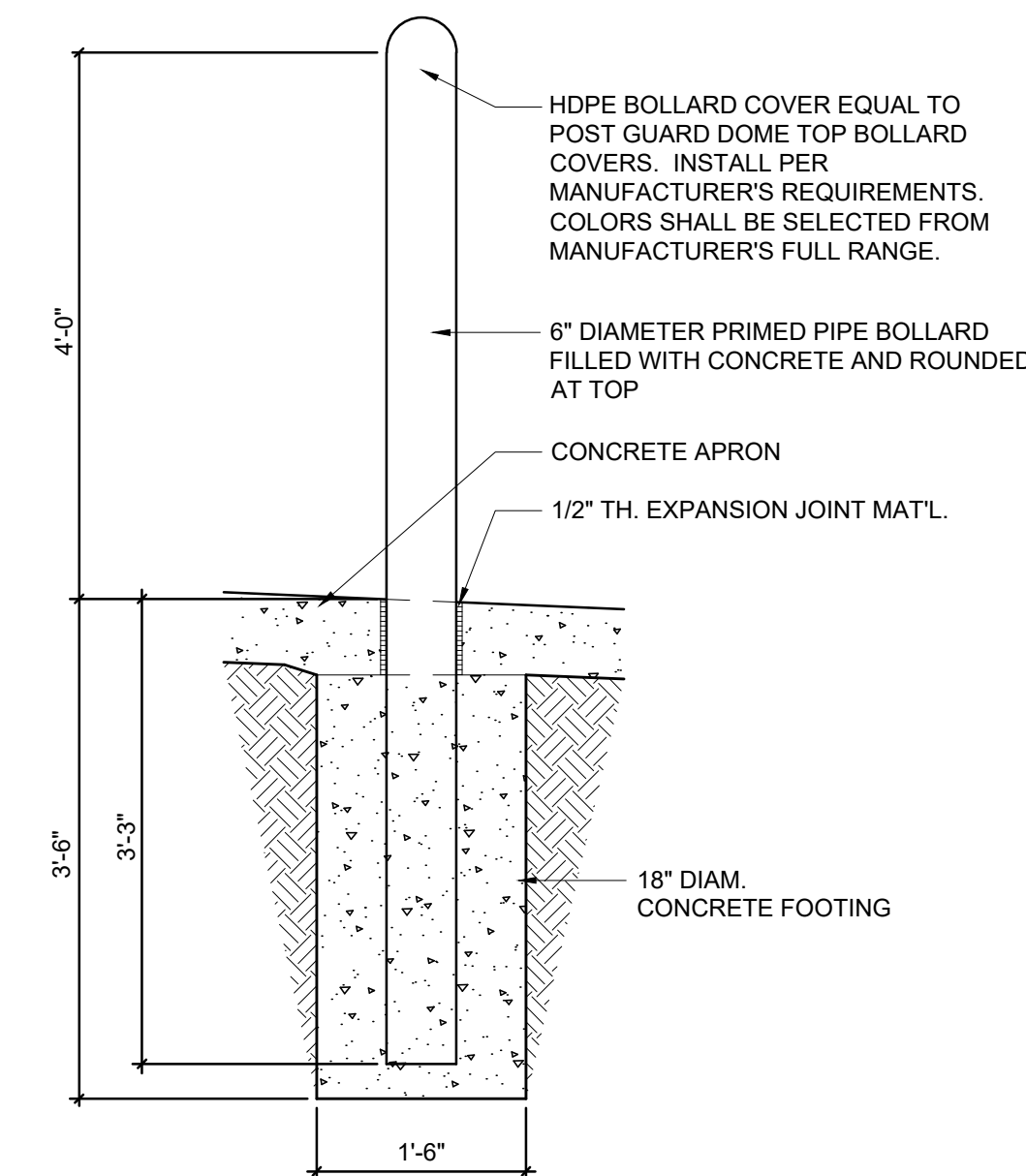
5 TYP. DOWNSPOUT BOOT DETAIL

CONTRACTOR TO COORDINATE WITH STRUCTURAL & CIVIL DRAWINGS FOR STEPS IN FOOTINGS AND CONNECTION DETAILS.



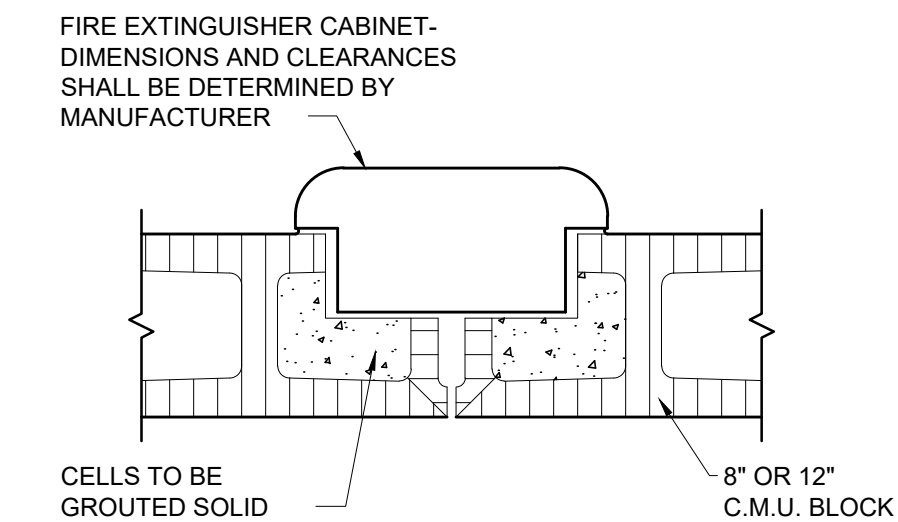
6 TYP. WALL DETAIL

SCALE: 1-1/2" = 1'-0"



7 TYP. BOLLARD DETAIL

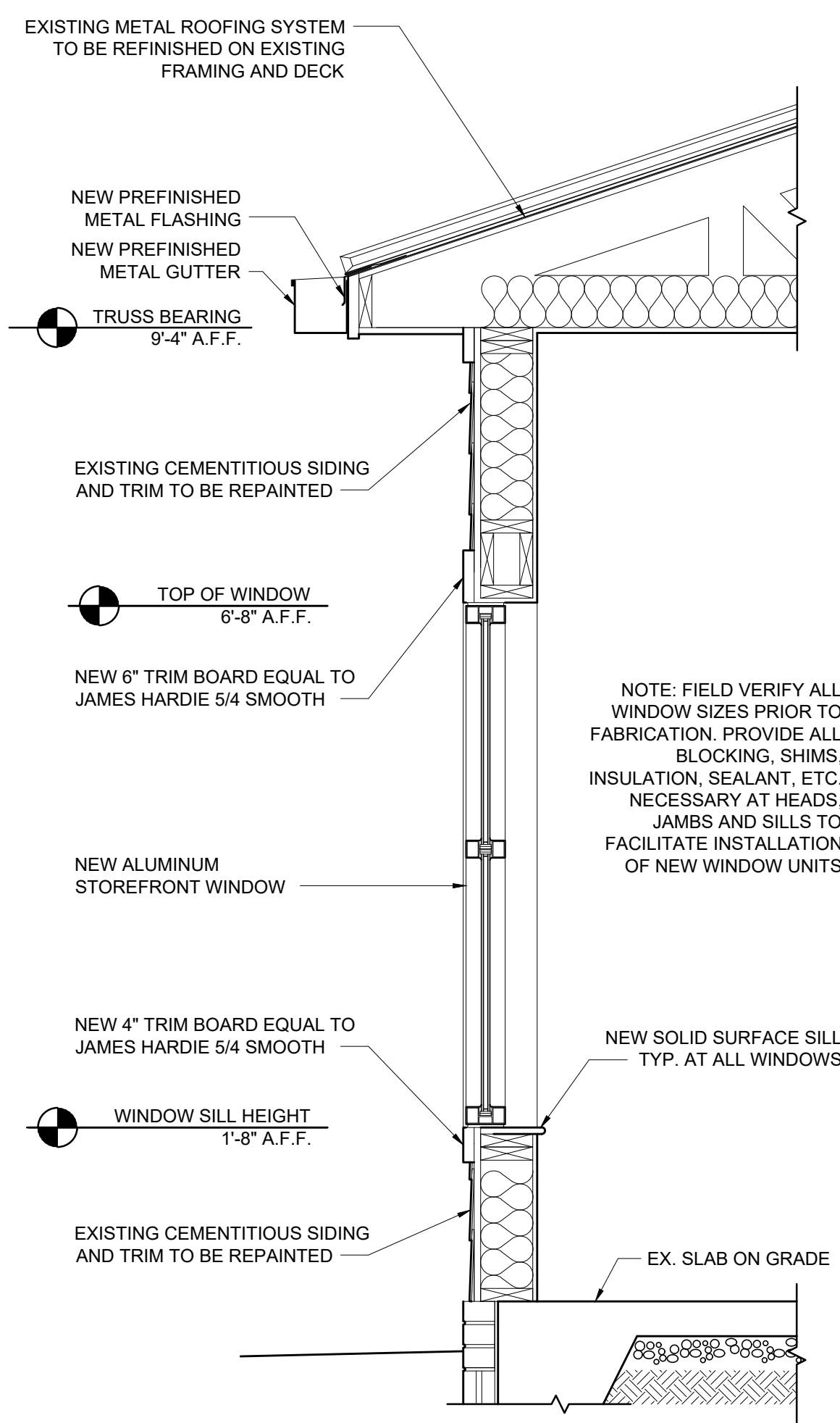
SCALE: 3/4" = 1'-0"



8 EXTINGUISHER DETAIL

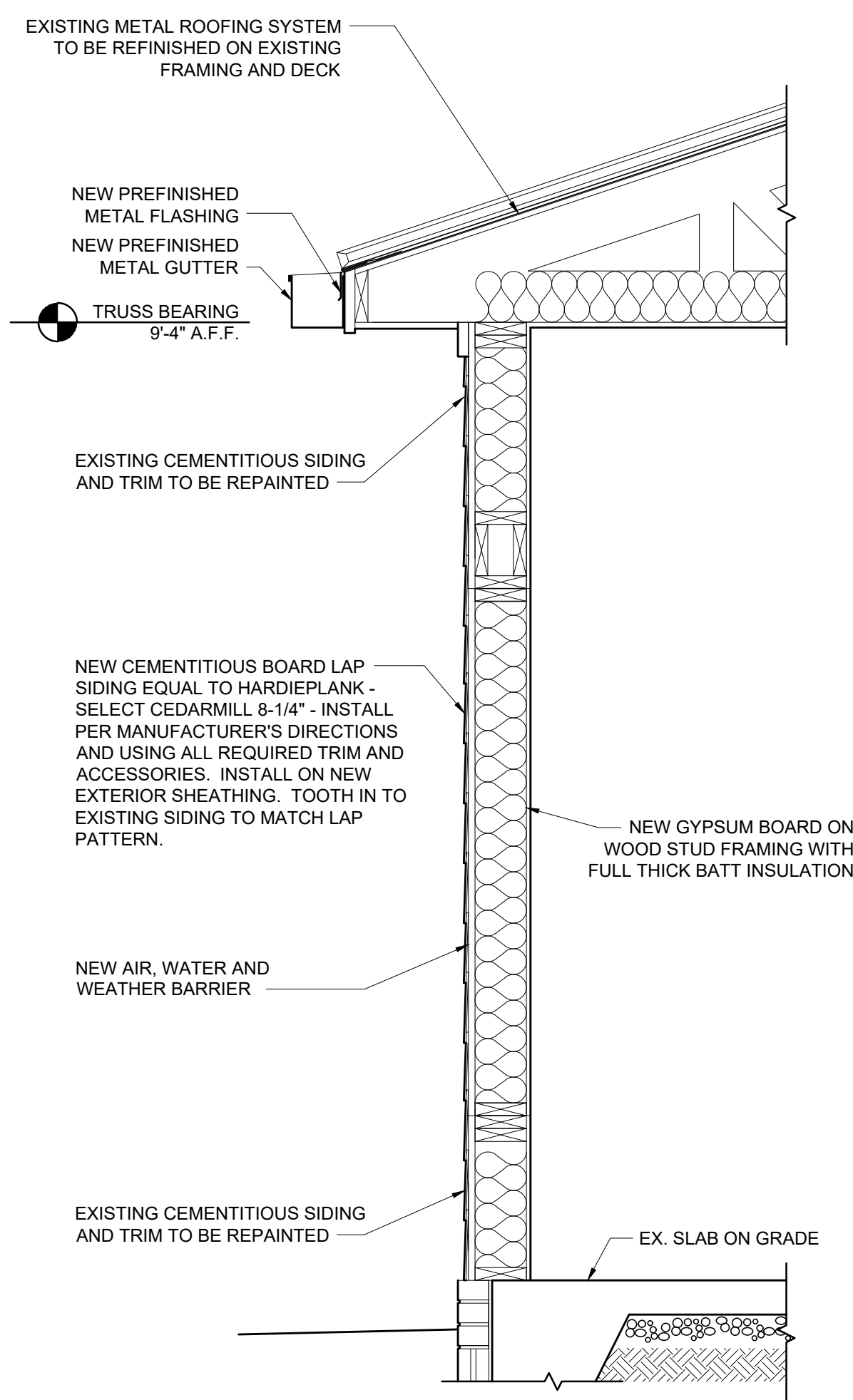
SCALE: 1-1/2" = 1'-0"

NOTE: MOUNTING HEIGHT SHALL BE 4'-0" TO THE TOP OF MASONRY OPENING. VERIFY WITH LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION
NOTE: CABINETS SHALL NOT BE RECESSED IN RATED PARTITIONS PLEASE COORDINATE ALL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.



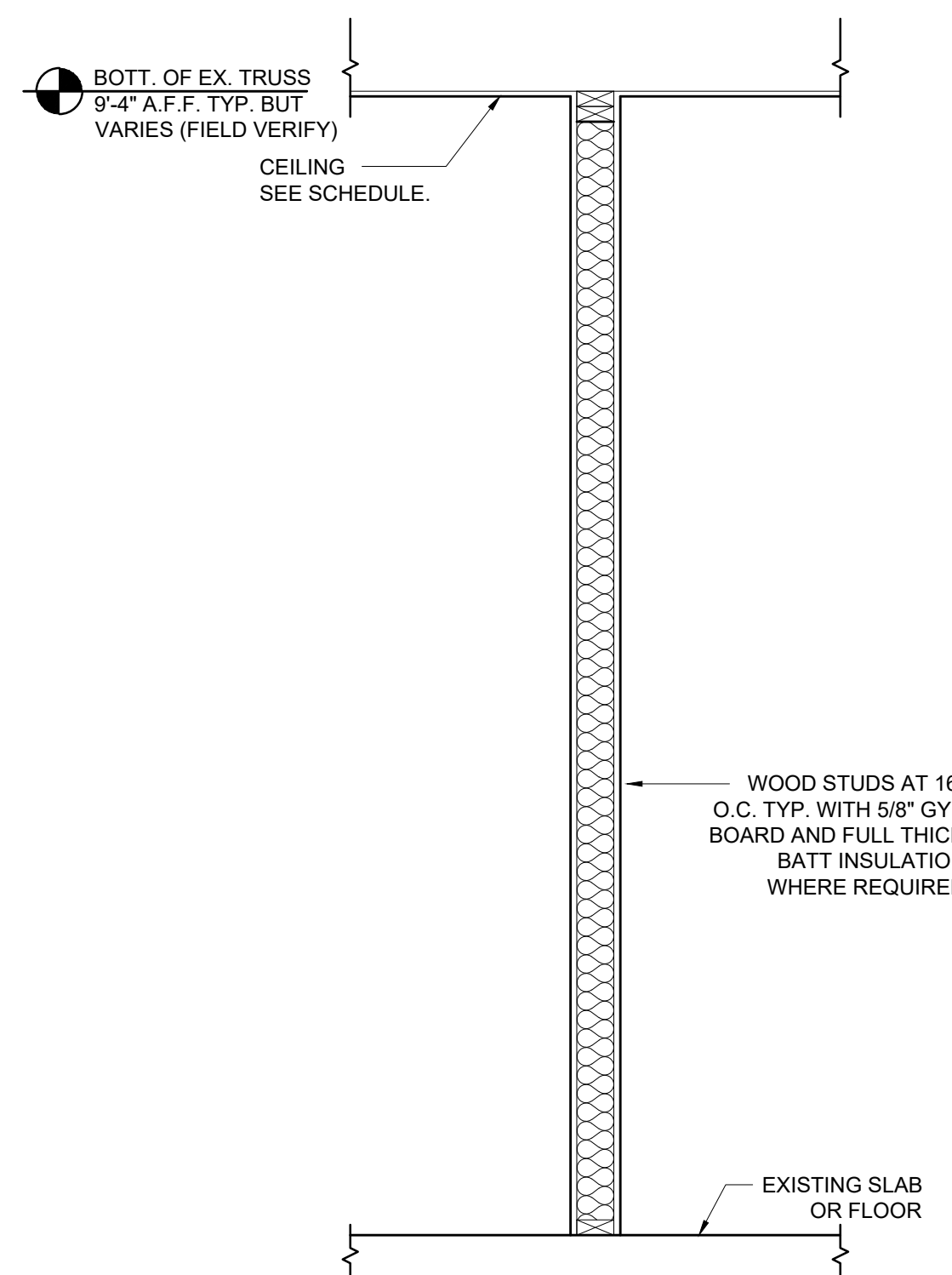
1 WALL SECTION

SCALE: 3/4" = 1'-0"



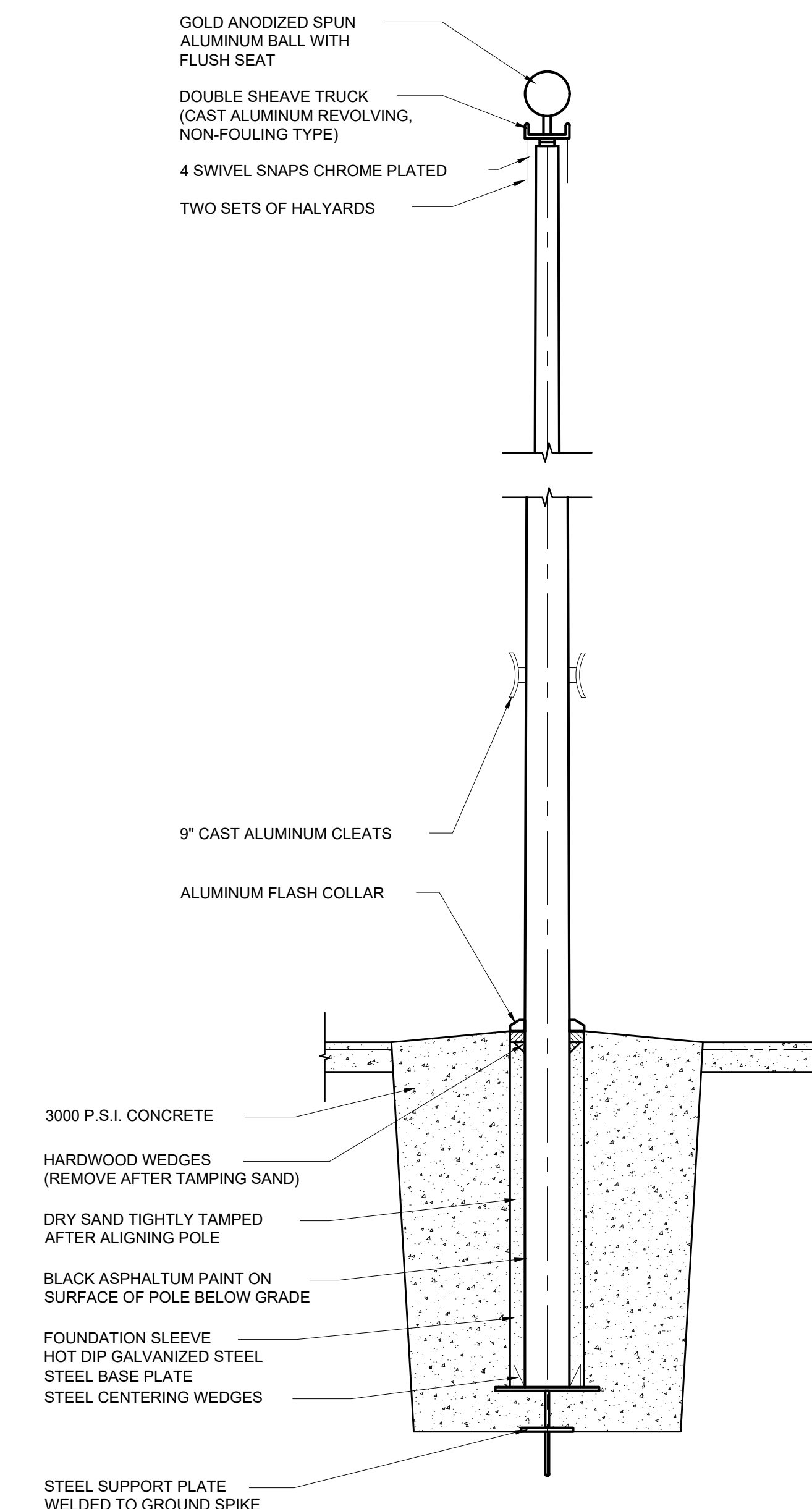
2 WALL SECTION

SCALE: 3/4" = 1'-0"



3 TYP. INTERIOR WALL SECTION

SCALE: 3/4" = 1'-0"



4 FLAG POLE SECTION

SCALE: 3/4" = 1'-0"

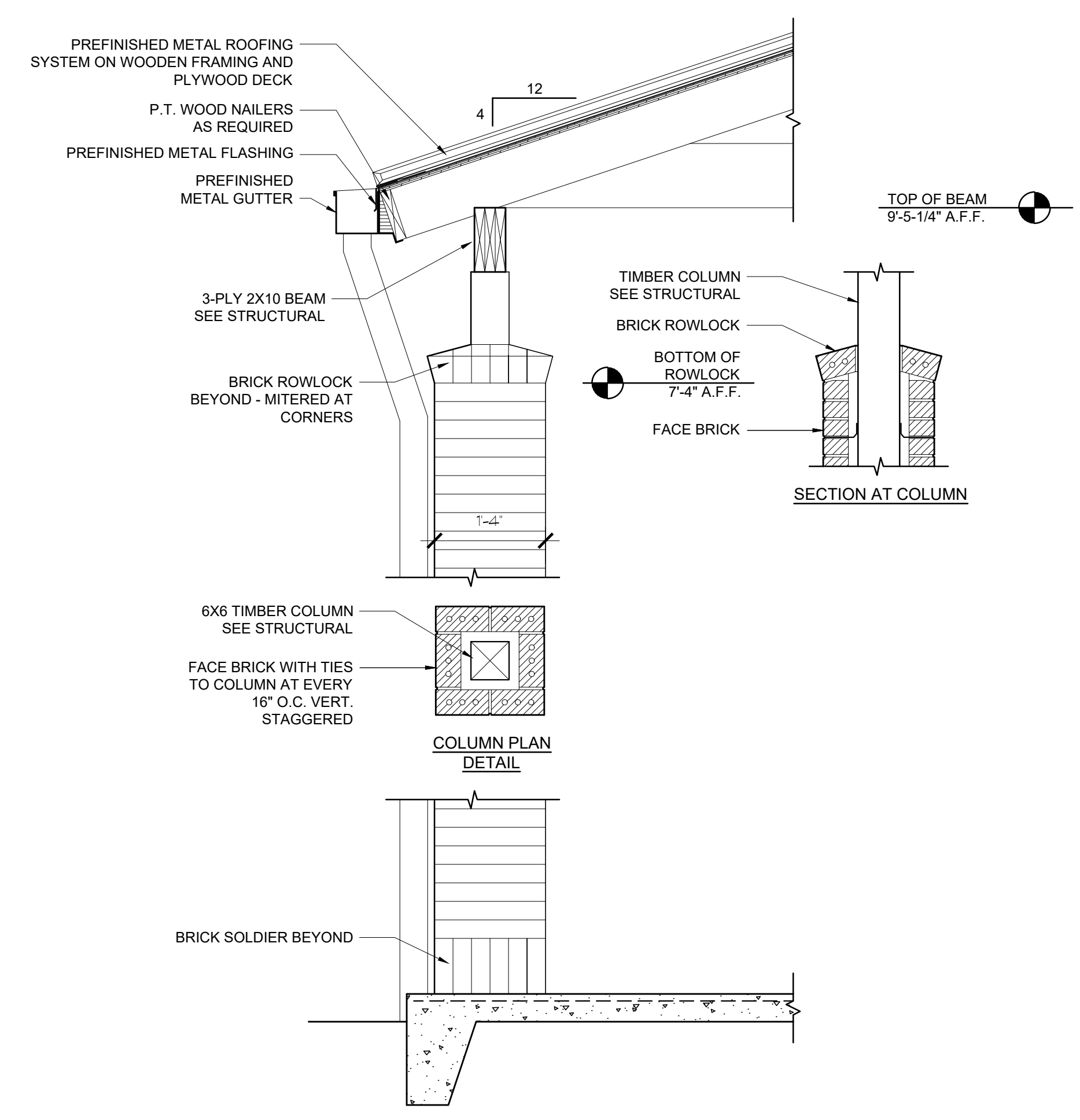
FOR CONSTRUCTION



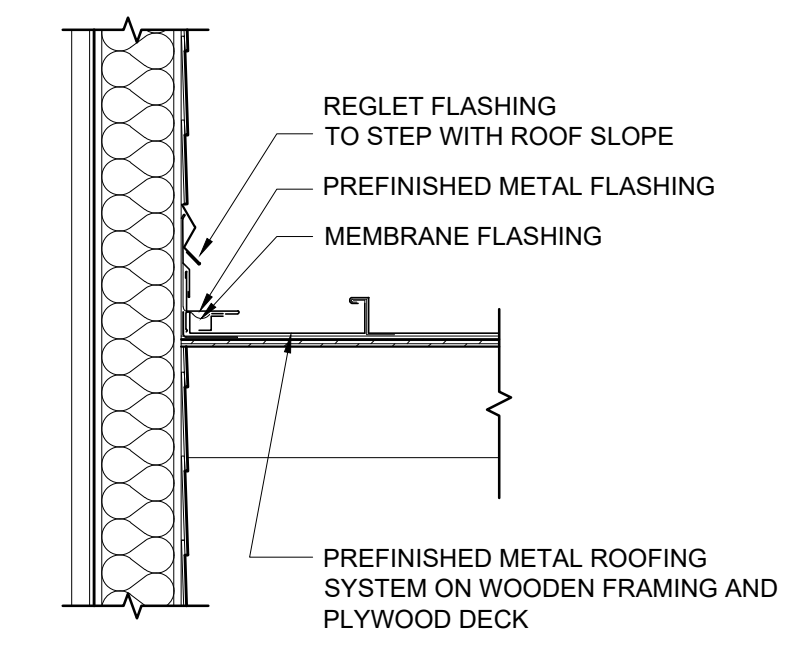
ADDITIONS & RENOVATIONS TO:
EMS STATION #30
2017 E. CHEROKEE DRIVE, WOODSTOCK GA 30188
CHEROKEE COUNTY BOARD OF COMMISSIONERS



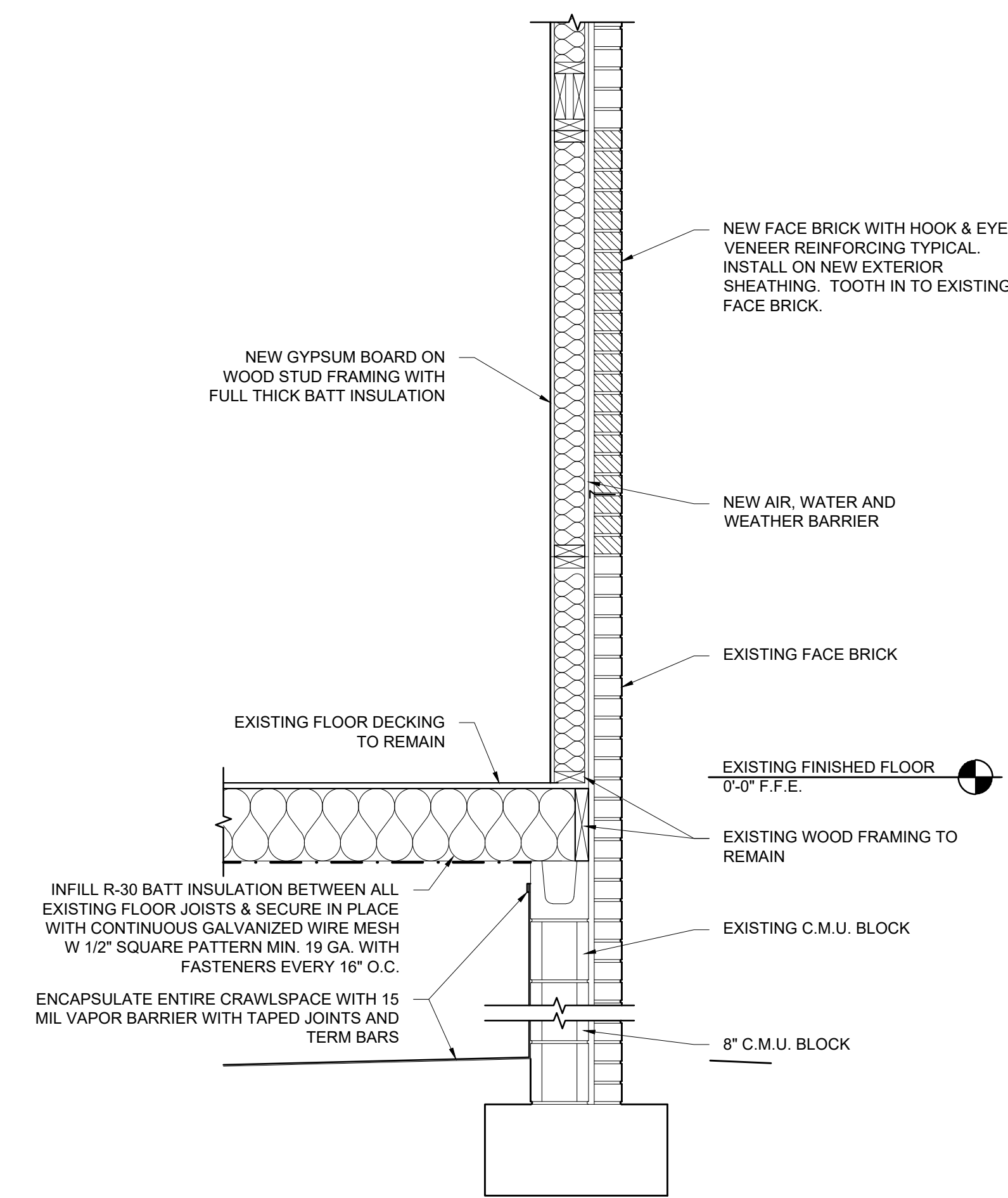
THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED.



1 WALL SECTION
SCALE: 3/4" = 1'-0"

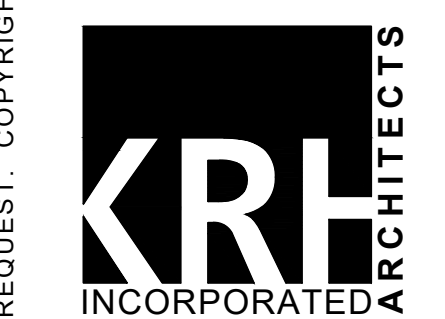


2 WALL SECTION
SCALE: 3/4" = 1'-0"



3 WALL SECTION
SCALE: 3/4" = 1'-0"

FOR CONSTRUCTION



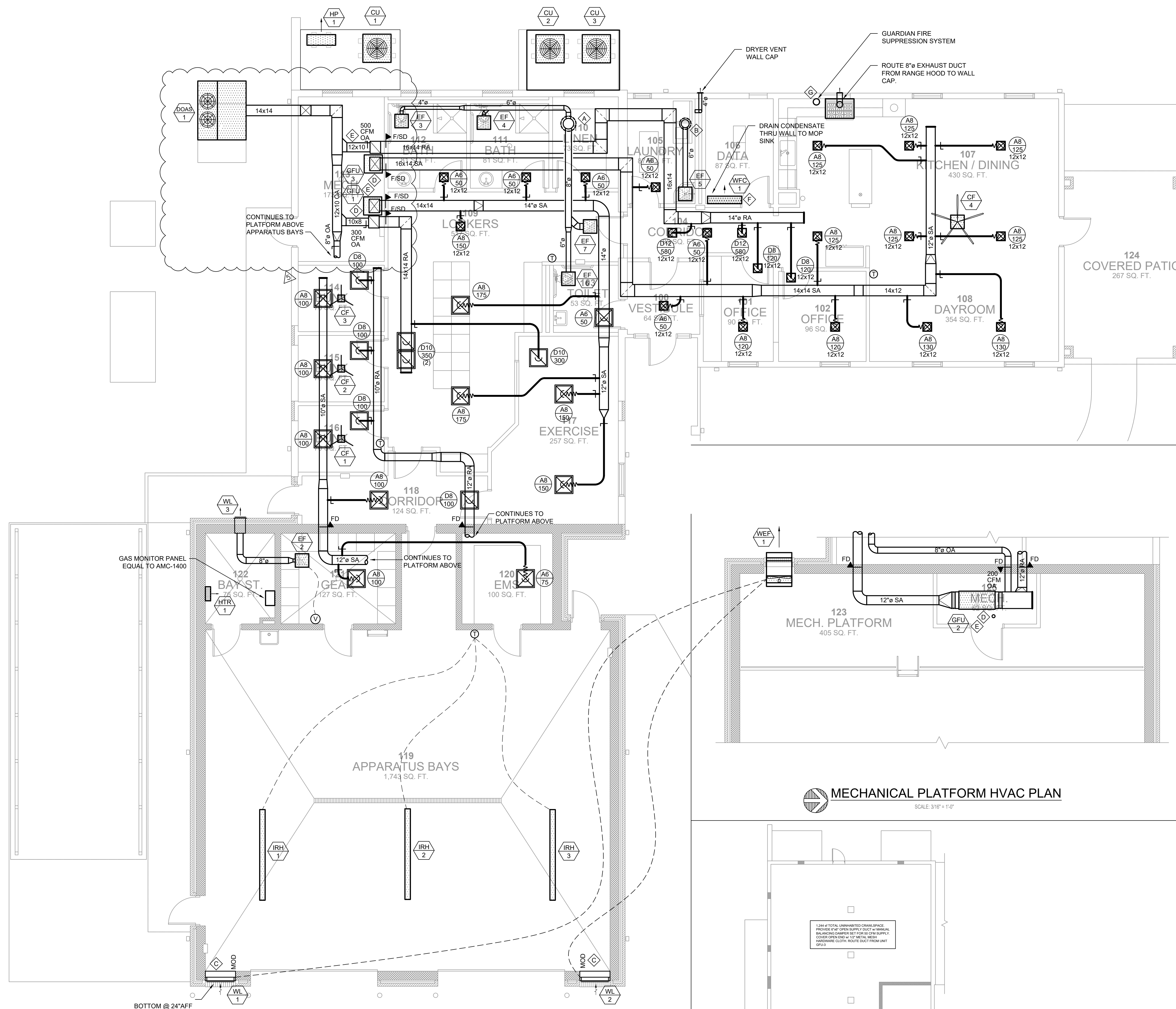
KEY NOTES

- A. 10" EXHAUST DUCT UP TO GRAVITY RELIEF VENT CAP, EQUIVALENT TO GREENHECK GRSR-10. PROVIDE w/ CURB / ACCESSORIES REQUIRED FOR SLOPED ROOF TYPE APPLICATION.
- B. SAME AS KEY NOTE 'A', EXCEPT 6" EXHAUST DUCT TO GRSR-08
- C. TYPICAL INTAKE LOUVER, PER SCHEDULE & DETAIL, w/ MOTORIZED DAMPER, INTERLOCKED w/ WALL EXHAUST. SET TO OPEN WHEN FAN IS ENERGIZED.
- D. ROUTE CONDENSATE TO HUB DRAIN PROVIDED. REFER TO PLUMBING DRAWINGS. PROVIDE WATER-BASED TRAP PRIMER.
- E. TYPICAL GAS-FIRED FURNACE UNIT w/ COMPATIBLE COOLING COILS. INSTALL PER MANUFACTURER'S REQUIREMENTS. TEST FIT ALL DUCTWORK AND EQUIPMENT IN THIS AREA PRIOR TO INSTALLATION. PROVIDE w/ FILTER BOX, UV LIGHT, AND BPI DEVICE. FIELD COORDINATE WHERE REQUIRED TO MEET DESIGN INTENT. SEAL ALL DUCTWORK TO SMACNA STANDARDS.
- F. GRAVITY DRAIN CONDENSATE THRU WALL TO MOP SINK.
- G. PROVIDE GUARDIAN, MODEL 1384-A, RANGETOP FIRE SUPPRESSION LOCATED IN ADJACENT CABINET. INSTALL PER MANUFACTURER'S REQUIREMENTS.

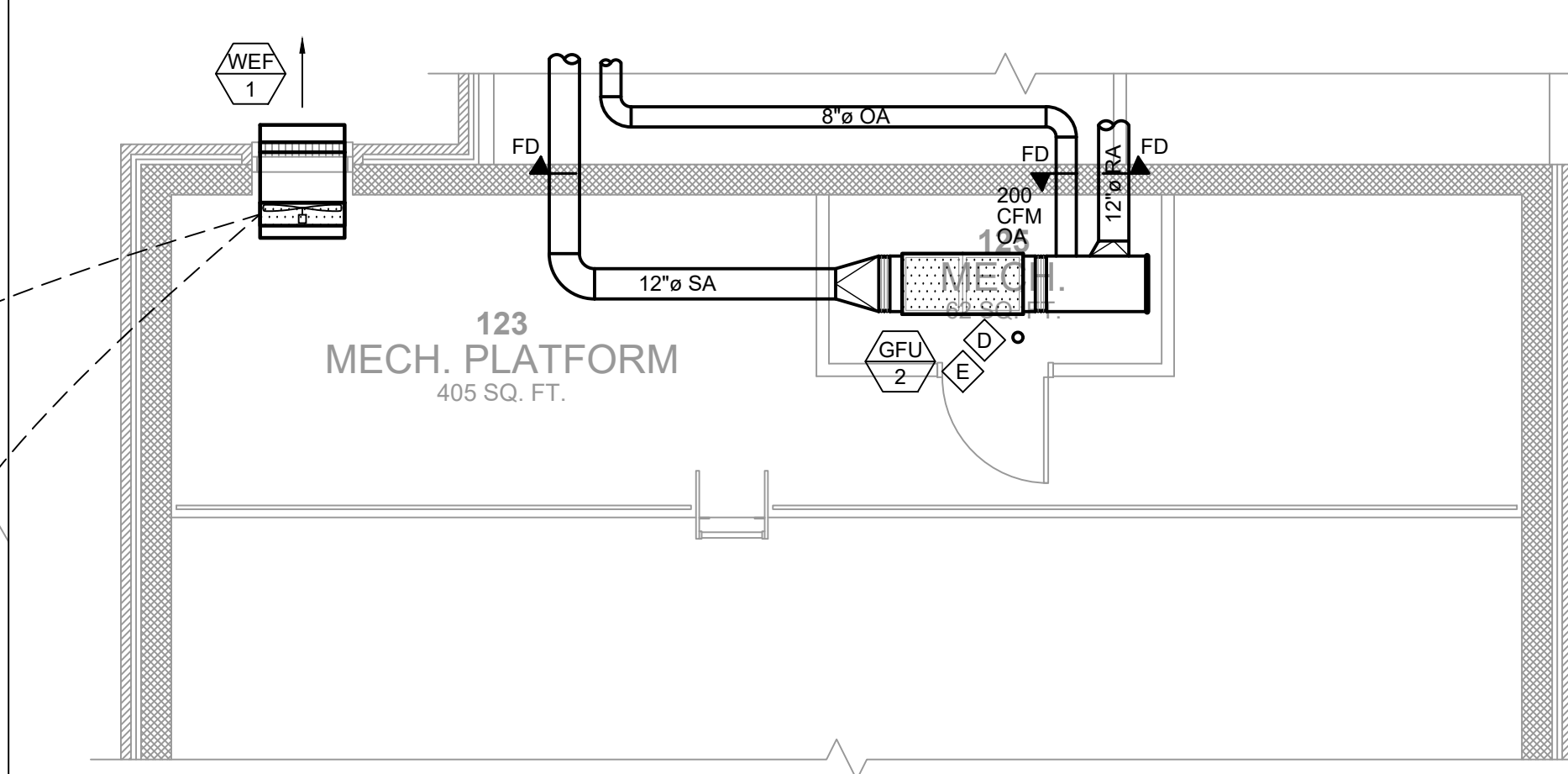
GENERAL CONSTRUCTION NOTES

- 1. UNLESS DOOR IS NOTED TO HAVE A TRANSFER GRILLE INSTALLED, UNDERCUT RESTROOM, STORAGE CLOSET, AND JANITOR'S CLOSET DOORS 3/4" FOR PROPER MAKE-UP AIR FLOW.
- 2. DRAIN HVAC CONDENSATE TO HUB DRAINS PROVIDED, UNLESS NOTED OTHERWISE. REFER TO PLUMBING DRAWINGS FOR EXACT LOCATION.
- 3. COORDINATE DIFFUSER LOCATIONS WITH ARCH. REFLECTED CEILING PLAN AND LIGHTING PLAN.
- 4. FIELD VERIFY EXACT CONDITIONS. PROVIDE NECESSARY ALTERATIONS REQUIRED TO MEET DESIGN INTENT.
- 5. ALL MOTORIZED INTAKE LOUVERS SHALL FAIL CLOSED.

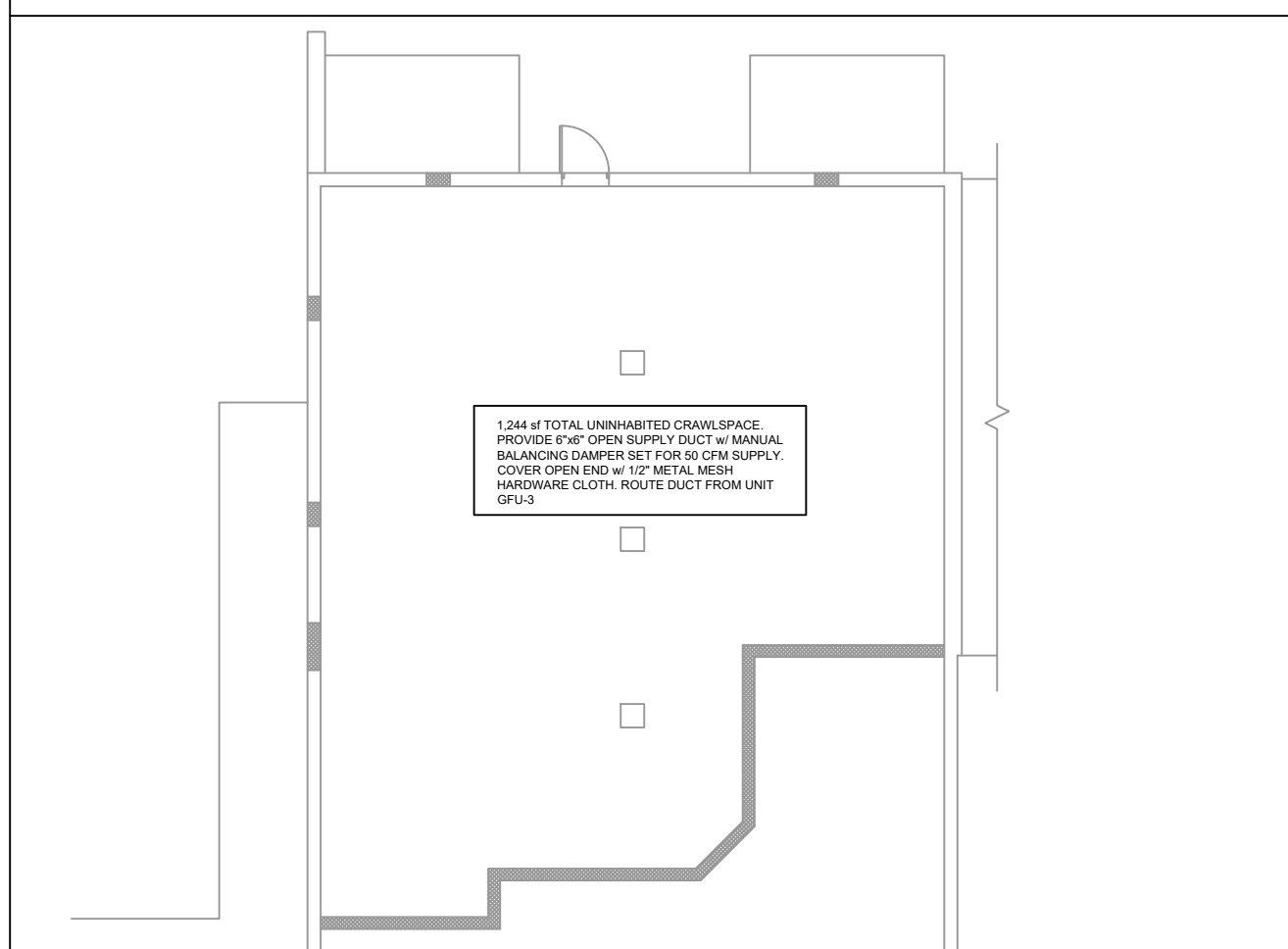
FOR CONSTRUCTION



MAIN LEVEL HVAC PLAN
SCALE: 3/16" = 1'-0"



MECHANICAL PLATFORM HVAC PLAN
SCALE: 3/16" = 1'-0"

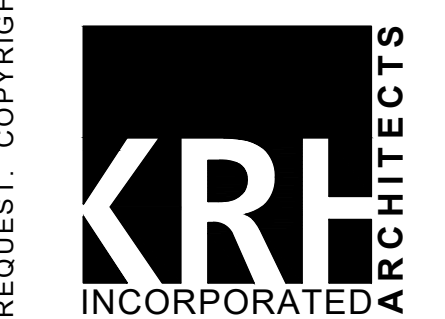


CRAWLSPACE HVAC PLAN
SCALE: 3/32" = 1'-0"

THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS, INC. NOT VALID UNLESS SIGNED AND SEALED.

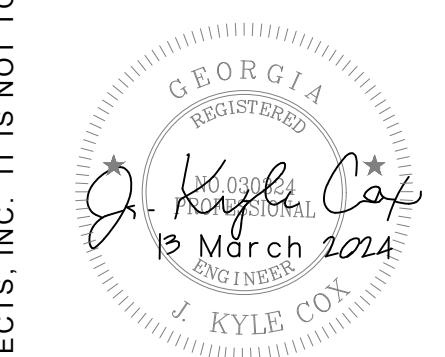
REVISIONS	
NO.	DATE
ADD #2	03/26/24
ADD #5	04/15/24

FACILITY CODE
000-0000



855 ABUTMENT ROAD
SUITE FOUR
DALTON, GA 30721
TEL. 706.529.5895

ADDITIONS & RENOVATIONS TO:
EMS STATION #30
2017 E. CHEROKEE DRIVE, WOODSTOCK GA 30188
CHEROKEE COUNTY BOARD OF COMMISSIONERS



SHEET NAME

SANITARY WASTE & VENT PLAN

SHEET INDEX

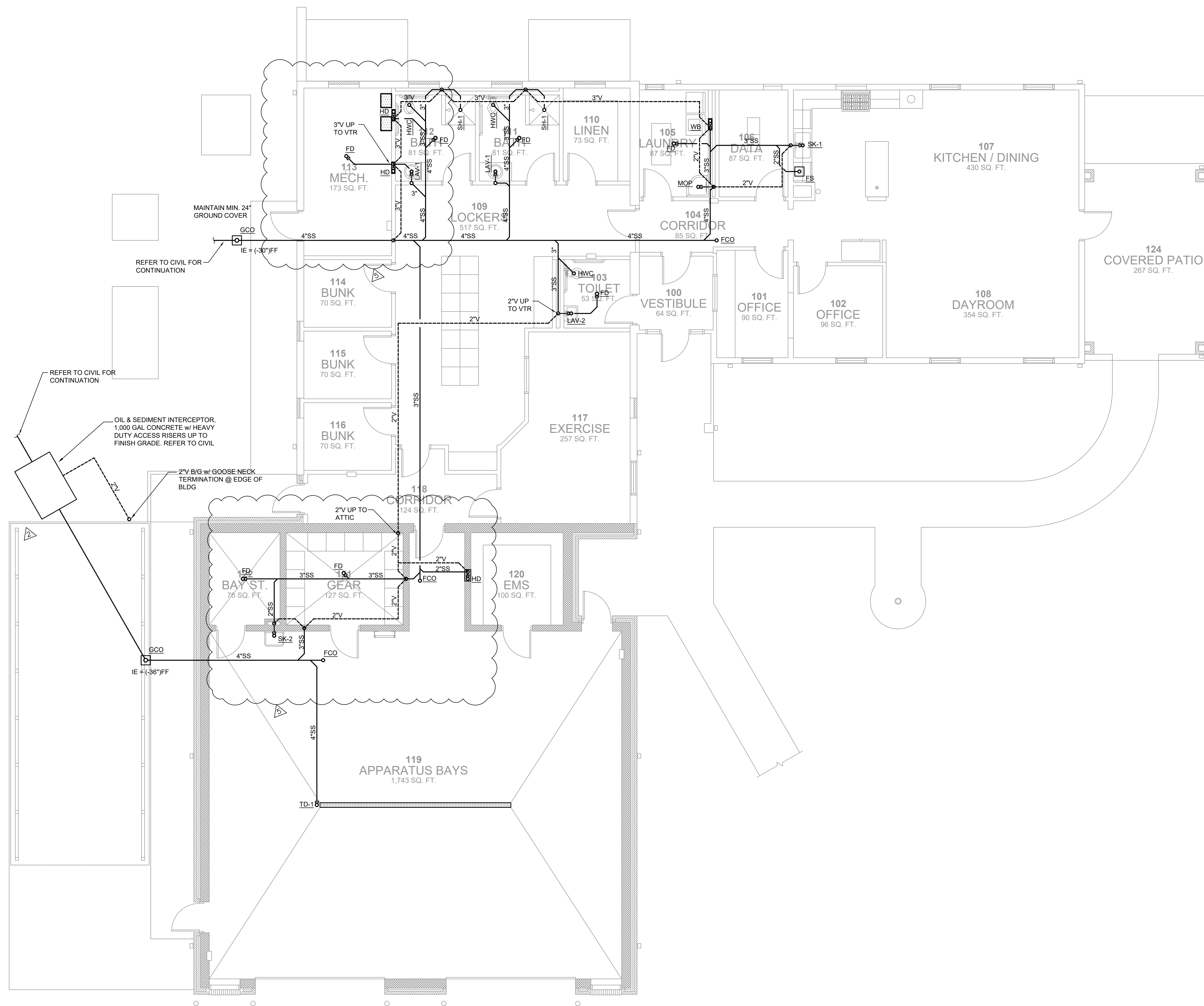
P1.1

KEY NOTES

GENERAL CONSTRUCTION NOTES

1. ALL PIPING SHALL BE ROUTED CONCEALED.
2. ALL PIPING INSIDE WALLS SHALL BE SECURED SUCH THAT THERE IS NO MOVEMENT DUE TO WATER HAMMER
3. PROVIDE ISOLATION VALVES AT EACH FIXTURE GROUP. ALL FIXTURES SHALL BE CAPABLE OF REMOVAL / REPLACEMENT WITHOUT SHUTTING OFF BUILDING SUPPLY
4. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMER INLET. PRIME ALL TRAPS w/ WATER-BASED TRAP PRIMERS.
5. PROVIDE ESCUTCHEONS AT ALL FIXTURE PIPE WALL PENETRATIONS

FOR CONSTRUCTION



SANITARY WASTE & VENT PIPING PLAN
SCALE: 3/16" = 1'-0"

THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS, INC. NOT VALID UNLESS SIGNED AND SEALED.

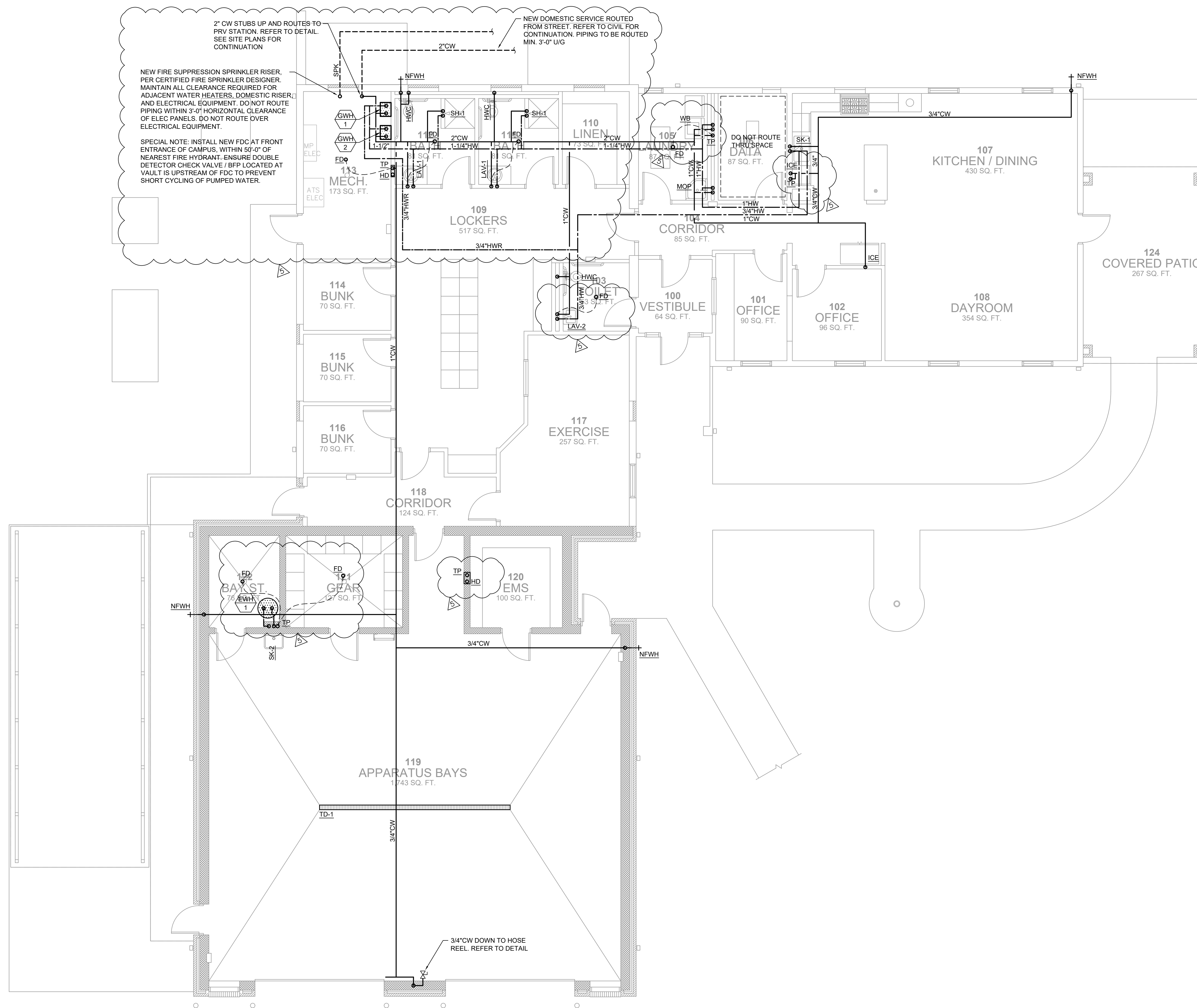


KEY NOTES

GENERAL CONSTRUCTION NOTES

1. ALL PIPING SHALL BE ROUTED CONCEALED.
2. ALL PIPING INSIDE WALLS SHALL BE SECURED SUCH THAT THERE IS NO MOVEMENT DUE TO WATER HAMMER
3. PROVIDE ISOLATION VALVES AT EACH FIXTURE GROUP. ALL FIXTURES SHALL BE CAPABLE OF REMOVAL / REPLACEMENT WITHOUT SHUTTING OFF BUILDING SUPPLY
4. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMER INLET. PRIME ALL TRAPS w/ WATER-BASED TRAP PRIMERS.
5. PROVIDE ESCUTCHEONS AT ALL FIXTURE PIPE WALL PENETRATIONS

FOR CONSTRUCTION



2" CW STUBS UP AND ROUTES TO PRV STATION. REFER TO DETAIL. SEE SITE PLANS FOR CONTINUATION

NEW FIRE SUPPRESSION SPRINKLER RISER, PER CERTIFIED FIRE SPRINKLER DESIGNER. MAINTAIN ALL CLEARANCE REQUIRED FOR ADJACENT WATER HEATERS, DOMESTIC RISER AND ELECTRICAL EQUIPMENT. DO NOT ROUTE PIPING WITHIN 3'-0" HORIZONTAL CLEARANCE OF ELEC PANELS. DO NOT ROUTE OVER ELECTRICAL EQUIPMENT.

SPECIAL NOTE: INSTALL NEW FDC AT FRONT ENTRANCE OF CAMPUS, WITHIN 50'-0" OF NEAREST FIRE HYDRANT. ENSURE DOUBLE DETECTOR CHECK VALVE / BFP LOCATED AT VAULT IS UPSTREAM OF FDC TO PREVENT SHORT CYCLING OF PUMPED WATER.

NEW DOMESTIC SERVICE ROUTED FROM STREET. REFER TO CIVIL FOR CONTINUATION. PIPING TO BE ROUTED MIN. 3'-0" U/G

DOMESTIC WATER PIPING PLAN
SCALE: 3/16" = 1'-0"

THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS, INC. NOT VALID UNLESS SIGNED AND SEALED.

REVISIONS	
NO.	DATE
ADD#4	04/12/24
ADD#5	04/15/24

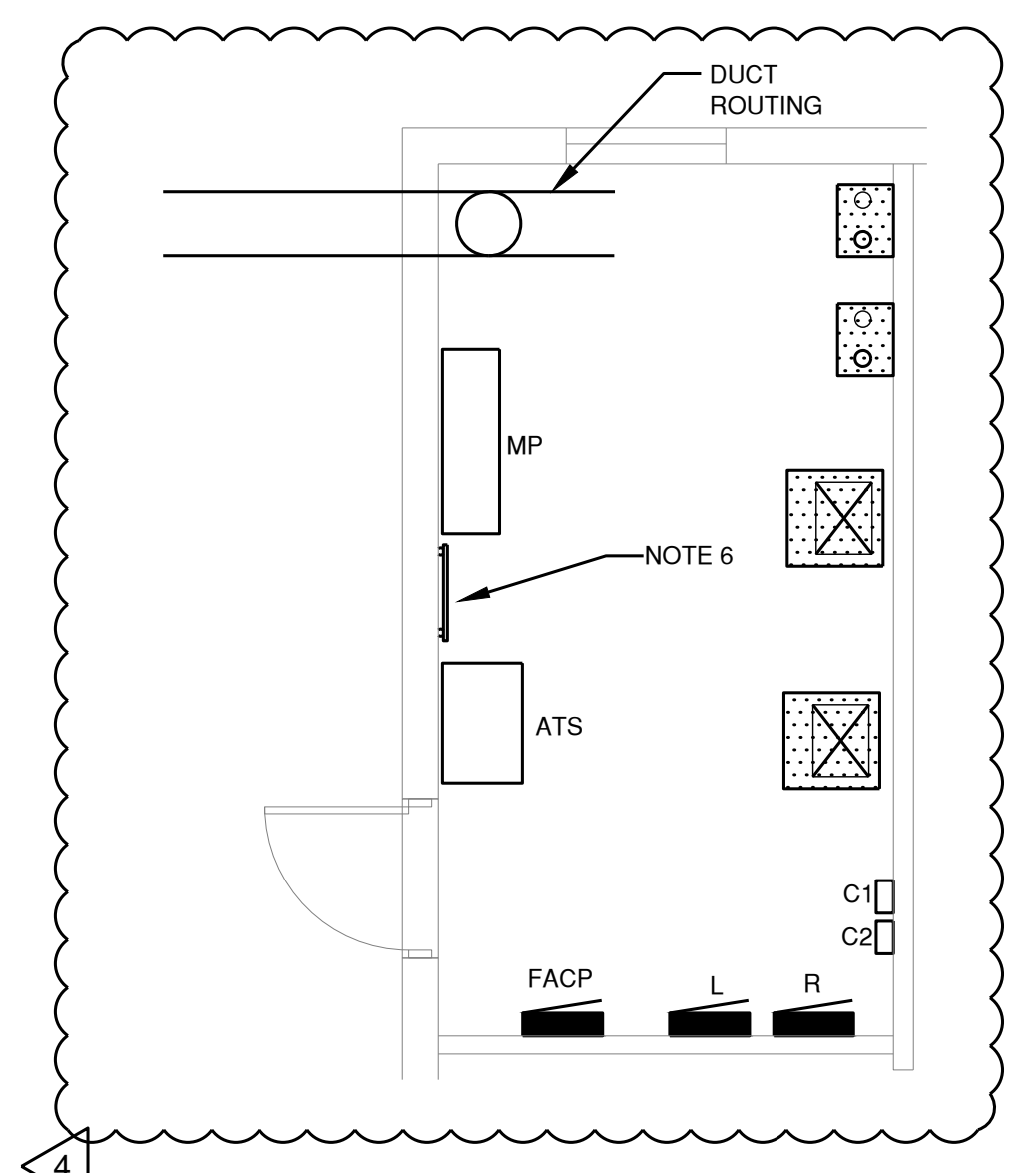


ADDITIONS & RENOVATIONS TO:
EMS STATION #30
 2017 E. CHEROKEE DRIVE, WOODSTOCK GA 30188
 CHEROKEE COUNTY BOARD OF COMMISSIONERS

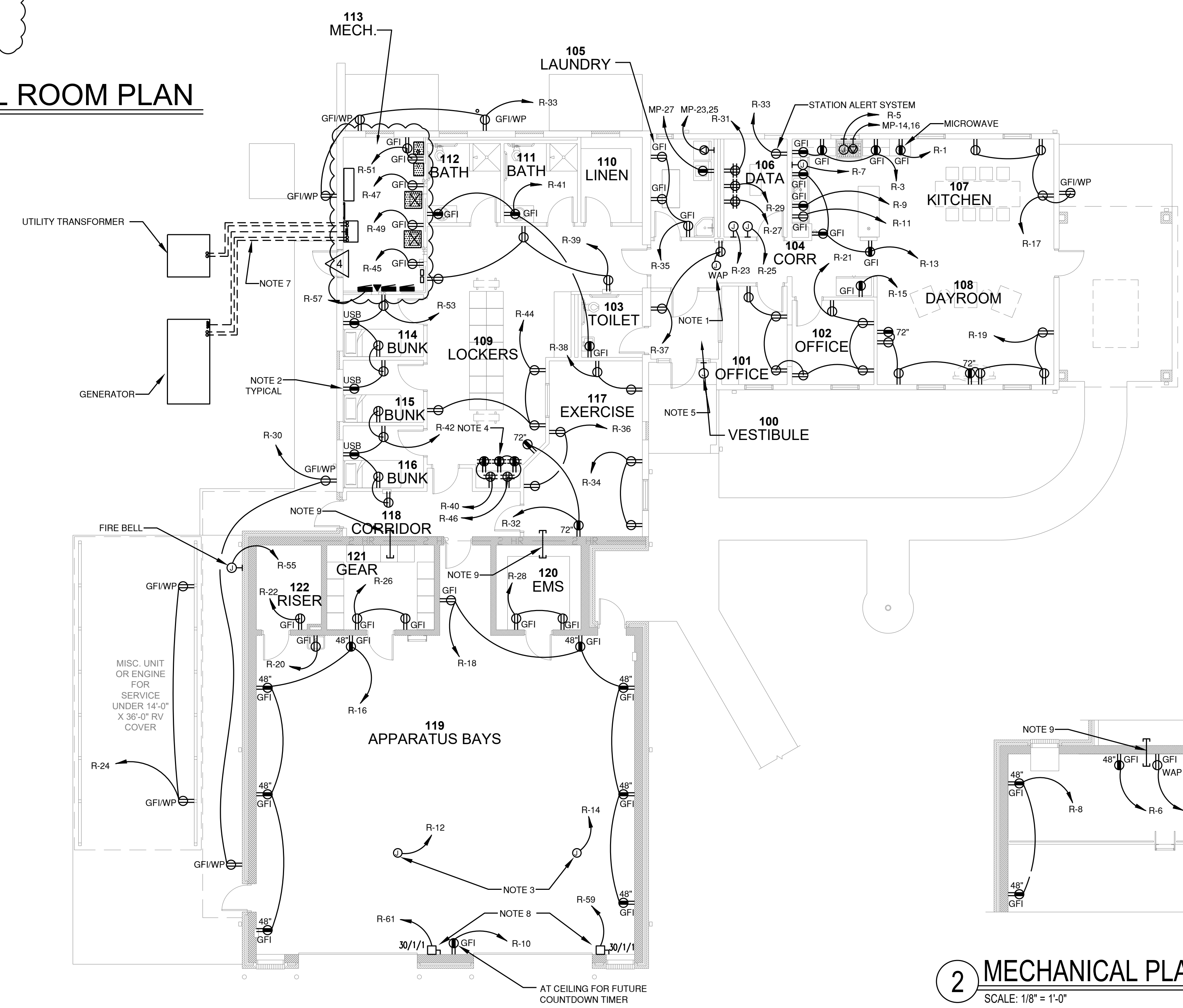


- POWER GENERAL NOTES:**
- ALL 15A/20A RECEPTACLES IN KITCHENS, FOOD PREP AREAS, RESTROOMS, OR ON EXTERIOR SHALL BE GFCI TYPE. GFCI RECEPTACLES SHALL BE INSTALLED IN ACCORDANCE WITH NEC ARTICLE 210.8 AND BE READILY ACCESSIBLE. FOR EQUIPMENT THAT WOULD HAVE TO BE MOVED TO RESET THE RECEPTACLE PER THE NEC DEFINITION, A GFCI BREAKER SHALL BE UTILIZED IN LIEU OF A RECEPTACLE.
 - SEE TAMPER-PROOF RECEPTACLE NOTE ON E1.0 AND PROVIDE TAMPER-PROOF RECEPTACLES IN LOCATIONS NOTED.
 - SEE ARC-FAULT BREAKER NOTE ON E1.0 AND PROVIDE ARC-FAULT BREAKERS IN BUNK ROOMS.
 - COORDINATE WITH OWNER/ARCHITECT ON DEVICE/PLATE COLOR THROUGHOUT SUITE PRIOR TO PURCHASE OR INSTALLATION. CONFIRM ALL MOUNTING HEIGHTS AND LOCATIONS.
 - CONDUIT BELOW GRADE SHALL BE SCHEDULE 40 PVC. ALL TRANSITIONS FROM BELOW GRADE TO ABOVE GRADE SHALL BE IN RGS. TRANSITION TO EMT 6" ABOVE SLAB.

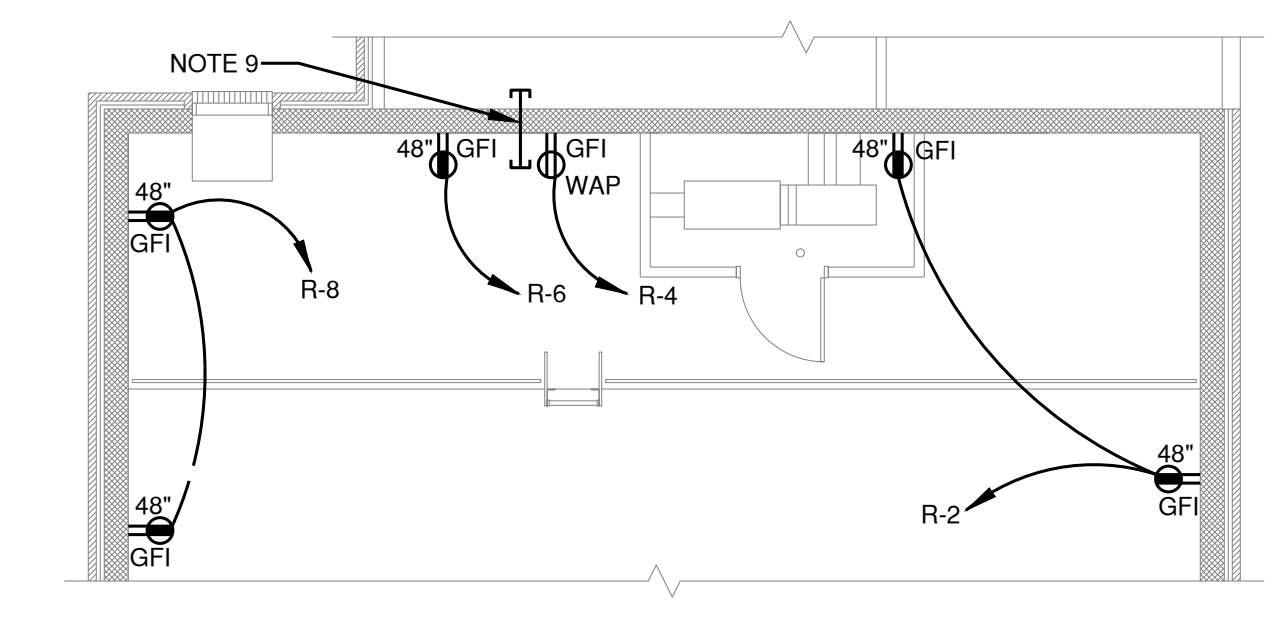
- POWER KEY NOTES:**
- PROVIDE RECEPTACLE FLUSH IN THE CEILING AT EACH WIFI BOOSTER LOCATION. SEE NOTE 13 ON SHEET E6.0 TO CONFIRM LOCATIONS.
 - EACH RECEPTACLE SHOWN AT COUNTER HEIGHT SHALL BE 44" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
 - PROVIDE REELCRAFT MODEL#L45451233A SPRING REWIND CORD REEL WITH 45' CORD, 12AWG/3 CONDUCTORS WITH SINGLE RECEPTACLE. MOUNT CORD REEL TO CEILING. PROVIDE KUSSMAUL 5-20P-H AUTO-EJECT FEMALE CONNECTOR FOR EACH CORD REEL.
 - PROVIDE RECEPTACLE BOTH BELOW AND ABOVE COUNTER TOP.
 - PROVIDE DOORBELL WITH TRANSFORMER MOUNTED IN STOREFRONT FRAME. PROVIDE JUNCTION BOX FOR POWER CONNECTIONS TO TRANSFORMER IN CEILING. REFER TO ARCHITECTURAL PLANS FOR FURTHER REQUIREMENTS.
 - PROVIDE 20" GROUND BAR, CHATS WORTH OR EQUAL. BOND GROUND BAR TO SERVICE ENTRANCE GROUNDING ELECTRODE.
 - PROVIDE PVC CONDUIT BELOW GRADE FROM GENERATOR TO ATS. SEE RISER DIAGRAM FOR FURTHER REQUIREMENTS. PROVIDE (4) 1" PVC CONDUITS FOR GENERATOR CONTROLS AND ANCILLARY POWER REQUIREMENTS.
 - PROVIDE 30A, 120V/1PH DISCONNECT SWITCH FOR MOTORIZED DOORS. MOUNT DISCONNECT SWITCH UP HIGH NEAR DOOR OPERATORS.
 - PROVIDE 1" CONDUIT THROUGH BLOCK WALL FOR CABLE ACCESS. COORDINATE WITH OWNER ON EXACT LOCATION AND MOUNTING HEIGHT.



3 ENLARGED ELECTRICAL ROOM PLAN
SCALE: 1/4" = 1'-0"



1 ELECTRICAL POWER PLAN
SCALE: 1/8" = 1'-0"



2 MECHANICAL PLATFORM PLAN
SCALE: 1/8" = 1'-0"

RELEASED FOR CONSTRUCTION

THIS DRAWING IS THE PROPERTY OF KRH ARCHITECTS, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED KRH ARCHITECTS INC. NOT VALID UNLESS SIGNED AND SEALED.